

Inspection Report

JOHN DOE- SAMPLE REPORT

Property Address:
9483 Glenborough Drive
Elko New Market MN 55020



Closer Look Home Inspectors, L.L.C.

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Date: 4/10/2020	Time: 01:42 PM	Report ID: -9483-Glenborough- Drive
Property: 9483 Glenborough Drive Elko New Market MN 55020	Customer: JOHN DOE	Real Estate Professional: JOHN DOE RE/MAX Advantage Plus - Lakeville

Comment Key or Definitions

PLEASE READ THIS AGREEMENT CAREFULLY. THIS IS A LEGALLY BINDING CONTRACT BETWEEN CLOSER LOOK HOME INSPECTORS, LLC. AND THE ABOVE STATED CLIENT(S).

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any marginal, unsatisfactory components, or recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Satisfactory (S) = Components are satisfactorily performing its intended function. I visually observed these item(s), component(s) or unit(s) and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear. Item is typical for age.

Marginal (M) = Attention should be given. These item(s), component(s) or unit(s) need routine maintenance that is important for every home's upkeep. Continuing to check up on the exterior, appliances, heating and cooling, plumbing, security, and electrical systems will help reduce breakdowns, save money, and keep your home looking and performing in its best condition. A qualified contractor should further evaluate and correct all conditions. These item(s), component(s) or unit(s) may lead to further costly problems if not corrected. Inspector strongly recommends before the end of your inspection deadline to contact qualified contractor(s) to provide cost estimates for corrections, repair or stabilization or further evaluation as needed. Determining the exact cause or future condition goes beyond the scope of a home inspection. A contractor should locate the source of the problem and correct it as needed.

UNSATISFACTORY (UN) = Item is not adequately performing its intended function and/or has an UNSAFE Condition. These item(s), component(s) or unit(s) are not functioning as intended or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement. You should obtain a cost estimate for correction(s) before the end of your inspection deadline.

Not Applicable (NA) = These item(s), component(s) or unit(s) are not in this home or building.

Not Visible (NV) = Item was not located or was not visible for inspection. A qualified professional or contractor should further evaluate this finding.

A home inspection is a non-invasive, visual examination of the accessible areas of a residential property (as delineated below), performed for a fee, which is designed to identify defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. The scope of work may be modified by the Client and Inspector before the inspection process. An inspection is not technically exhaustive and does not imply that every defect was found. Latent, concealed, or inaccessible defects and problems are excluded from this inspection. Floor coverings, furniture, and larger and/or fragile personal belongings are not disturbed during the inspection. The equipment and appliances included in this inspection are tested for response to normal controls only, when possible. The equipment and appliances included in this inspection are not dismantled, other than normal service panels which can be freely and easily removed.

The home inspection is based on the observations made on the date of the inspection, and not a prediction of future conditions. The home inspection will not reveal every issue that exists or ever could exist, but only those material defects observed on the date of the inspection.

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A material defect is a specific issue with a system or component of a residential property that may have a significant, adverse impact on the value of the property, or that poses an unreasonable risk to people. The fact that a system or component is near, at, or beyond the end of its normal, useful life is not, in itself, a material defect.

A home inspection report shall identify, in written format, defects within specific systems and components defined by these Standards that are both observed and deemed material by the inspector. Inspection reports may include additional comments and recommendations.

Work performed without the required building inspections designed to ensure compliance with applicable safety codes may contain hidden defects and significant safety hazards. Locating hidden defects may require invasive techniques. The application of invasive techniques exceeds the scope of the General Home Inspection. You should ask the seller for documentation showing that work on or in the home was performed with the proper permits and building inspections.

This is not an FHA inspection, however, the inspector will try to make comments on common FHA standards. These standards can often change. An FHA inspector will note any deficiencies in the property that don't meet their minimum standards. Once the flaws or defects are fixed, the FHA loan can go forward. Under contingency clauses in real estate, the seller can make the repairs to bring the property up to standards. Although they're not obligated to, the FHA loan won't go through without the property passing the FHA inspection. I am not able to determine if the future buyer will be an FHA buyer.

This Home Inspection does not address the possible presence of radon gas in the home or the water, lead paint, asbestos, toxic or flammable chemicals, mold or mildew, or other harmful or environmentally unsafe substances. The possible presence of such items should be identified by a specialist in the detection of these substances. An inspection of private waste disposal systems (such as septic systems) are not included in this Home Inspection. Also, this report does not include an inspection for wood-destroying insects and/or pests. Specialists in these fields should be contacted if these inspections are desired.

The Client agrees that, should Closer Look Home Inspectors, LLC. be found liable for any loss or damages resulting from failure to perform any of the company's obligations, including but not limited to negligence, breach of contract, or any other legal theory or cause of action, the liability of the Closer Look Home Inspectors, LLC. shall be limited solely and exclusively to the fee paid for The Inspection.

The client agrees that the fee payable to Closer Look Home Inspectors, LLC. for this Inspection is based strictly upon the value of time involved in conducting The Inspection and preparing the Report. The fee is unrelated to the costs of repairing or correcting any defects in the residence. The Client agrees that the fee is to be paid by the agreed time to Closer Look Home Inspectors, LLC. whether or not the subject property is purchased by The Client. Closer Look Home Inspectors, LLC. assumes no liability for the cost of repairing, or replacing any reported or unreported defect or deficiency in the residence, either current or arising in the future, or for any property damage, consequential damage, or bodily injury of any nature. The Inspection and Report are conducted and prepared for the sole, confidential and exclusive use of The Client. The Inspector assumes no liability to third parties in connection with this Inspection and written report.

THE INSPECTION AND REPORT ARE NOT INTENDED, OR TO BE USED, AS A GUARANTEE, WARRANTY, EXPRESSED OR IMPLIED, OR ANY INSURANCE POLICY, REGARDING THE ADEQUACY, PERFORMANCE OR CONDITIONS OF ANY INSPECTED STRUCTURE, ITEM, COMPONENT OR SYSTEM AND SHOULD NOT BE RELIED UPON AS SUCH. THE INSPECTION AND REPORT ARE ALSO NOT CERTIFICATIONS, NOR IMPLIED WARRANTIES OF HABITABILITY, MERCHANTABILITY OR FITNESS FOR USE OF ANY KIND.

Work performed without the required building inspections designed to ensure compliance with applicable safety codes may contain hidden defects and significant safety hazards. Locating hidden defects may require invasive techniques. The application of invasive techniques exceeds the scope of the General Home Inspection. You should ask the seller for documentation showing that work on or in the home was performed with the proper permits and building inspections.

Areas of the home were blocked by seller's personal belongings. Moving belongings goes beyond the scope of a home inspection. I recommend asking seller to move belongings and further inspect as needed by a qualified person. We can return for an additional fee to re-inspect areas of the home that were restricted at time of inspection.

Homes more than 10 years old may have areas that are not current in code requirements. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are

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not functioning as intended. It does not grade the repair. It is sometimes common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult in a lived in home. Sometimes homes have signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

Standards of Practice:

InterNACHI International Association of Certified Home Inspectors

Type of building::

Single Family

Attending the Inspection::

Vacant (inspector only)

Approximate Age:

Over 10 Years

Occupancy::

Occupied- occupants appeared to be in the process of moving

Dog present::

No Cat Present, No Dog Present

Weather during the Inspection::

Cloudy

Ground/Soil surface condition:

Saturated

Temperature during inspection::

Below 65 (F) = 18 (C)

Water Quality Test::

No - We do not preform water testing

Radon Test:

No - At this time we do not preform radon testing

Mold Test:

NO

Thermostat Setting on Arrival:

ON - Heat

Thermostat Temperature on Arrival:

65

Thermostat Location:

Upstairs, Hallway

Furnace/Boiler Setting on Departure:

Returned to default settings, YES

Sewer Scope:

NO - We Do Not Preform Sewer or Plumbing Camera Scope

Additional Structure:

No

Home free of chipping or peeling paint:

Windows/trim in areas needed to be repainted

1. Roof

The inspector shall inspect from ground level or the eaves:

- the roof-covering materials;
- the gutters;
- the downspouts;
- the vents, flashing, skylights, chimney, and other roof penetrations; and
- the general structure of the roof from the readily accessible panels, doors or stairs.

The inspector is not required to:

- walk on any roof surface.
- predict the service life expectancy.
- inspect underground downspout diverter drainage pipes.
- remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces.
- move insulation.
- inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments.
- walk on any roof areas that appear, in the inspector's opinion, to be unsafe.
- walk on any roof areas if doing so might, in the inspector's opinion, cause damage.
- perform a water test.
- warrant or certify the roof.
- confirm proper fastening or installation of any roof-covering material.

Styles & Materials

Roof Covering:

Asphalt Shingle

Drainage System:

Gutters and downspouts installed

Viewed Roof From:

Top of ladder
From the ground
(binoculars)

Roof Covering Age:

Not Determined - Further investigation/evaluation needed

Recommend confirming age of roof or obtaining paperwork from seller

Items

1.0 Asphalt Composition Shingle

Comments: Marginal

(1) Many different types, brands and models of asphalt composition shingles have been installed over the years, each with specific manufacturer's installation requirements that may or may not apply to similar-looking shingles made by other manufacturers. In addition, most shingles have underlayment requirements that cannot be visually confirmed once the shingles have been installed, and fasteners that cannot be inspected without breaking the bonds of adhesive strips that are the most important component in shingle resistance to wind damage. For this reason, the Inspector disclaims responsibility for accurate confirmation of proper asphalt shingle installation.

The Inspector's comments will be based on- and limited to- installation requirements common to many shingle types, brands and models, and other deficiencies that develop with time, exposure to weather and circumstances. Accurate confirmation of a particular shingle roof installation, which requires research that exceeds the scope of the General Home Inspection, will require the services of a qualified roofing contractor.

- Determining remaining lifespan of shingles goes beyond the scope of a home inspection. You may wish to ask seller about age of roof or have a qualified roofing contractor provide remaining life span of roof.

(2) At the time of the inspection, asphalt composition shingles covering the roof general deterioration commensurate with the age of the roof.

- Item 1(Picture) Item 2(Picture) Item 3(Picture) Apparent damage(s) in area(s).
- Inspector did not observed leaks at interior ceiling(s) at time of inspection. The attic, was not inspected.



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)

(3) At time of inspection, I observed shingle(s) at roof that were lifted in areas. This is a likely entrance point of water which can lead to further costly problems. I recommend further evaluation and correction as needed by a qualified roofing contractor.



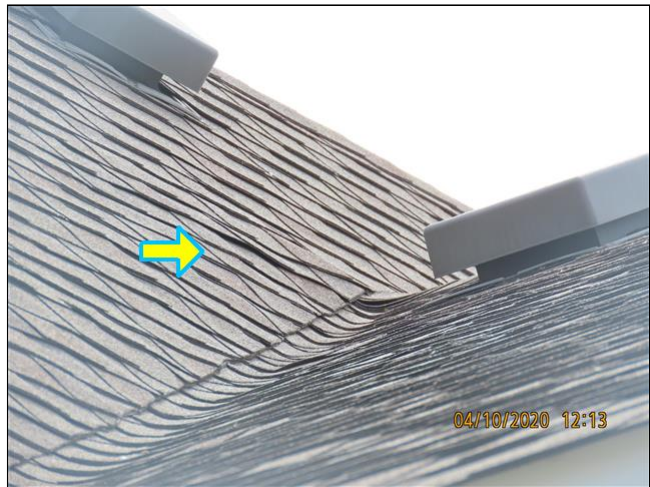
1.0 Item 4(Picture) lifted shingle, front of home



1.0 Item 5(Picture) lifted shingle, front of home



1.0 Item 6(Picture) lifted shingle, front of home



1.0 Item 7(Picture) lifted shingle, rear of home



1.0 Item 8(Picture) lifted flashing rear of home

1.1 Roof Structure Exterior

Comments: Satisfactory

1.2 Roof Flashing

Comments: Marginal

A wall section at the of the home had no kick-out flashing installed where a wall extended past a roof edge. This condition may allow moisture intrusion of the exterior wall covering. Moisture intrusion of the wall structure can damage

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home materials and encourage the growth of mold. Long term moisture intrusion can cause structural damage from wood decay. The Inspector recommends correction by a qualified contractor.



1.2 Item 1(Picture) missing flashing, rear of home

1.3 Roof Drainage System

Comments: Satisfactory

(1) I am unable to determine if downspouts, buried drain (if applicable) lines or gutters splash or spill water due to lack of rain. I recommend monitor and correction as needed during heavy rainfall.

(2) One or more downspouts discharged roof drainage near the foundation. The Inspector recommends the installation of downspout extensions to discharge roof drainage a minimum of 6 feet from the foundation to decrease water and soil movement near the foundation which can lead to fungi growth.

1.4 Exhaust & Combustion Vents

Comments: Satisfactory

The roof inspection portion of the General Home Inspection will not be as comprehensive as an inspection performed by a qualified roofing contractor. Because of variations in installation requirements of the huge number of different roof-covering materials installed over the years, the General Home Inspection does not include confirmation of proper installation. Home Inspectors are trained to identify common deficiencies and to recognize conditions that require evaluation by a specialist. Inspection of the roof typically includes visual evaluation of the roof structure, roof-covering materials, flashing, and roof penetrations like chimneys, mounting hardware for roof-mounted equipment, attic ventilation devices, ducts for evaporative coolers, and combustion and plumbing vents. The roof inspection does not include leak-testing and will not certify or warranty the roof against future leakage. Other limitations may apply and will be included in the comments as necessary.

2. Exterior

The inspector shall inspect:

- the exterior wall-covering materials;
- the eaves, soffits and fascia;
- a representative number of windows;
- all exterior doors;
- flashing and trim;
- adjacent walkways and driveways;
- stairs, steps, stoops, stairways and ramps;
- porches, patios, decks, balconies and carports;
- railings, guards and handrails; and
- vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion.

The inspector is not required to:

- inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting.
- inspect items that are not visible or readily accessible from the ground, including window and door flashing.
- inspect or identify geological, geotechnical, hydrological or soil conditions.
- inspect recreational facilities or playground equipment.
- inspect seawalls, break walls or docks.
- inspect erosion-control or earth-stabilization measures.
- inspect for safety-type glass.
- inspect underground utilities.
- inspect underground items.
- inspect sprinkler system
- inspect wells or springs.
- inspect solar, wind or geothermal systems.
- inspect swimming pools or spas.
- inspect wastewater treatment systems, septic systems or cesspools.
- inspect irrigation or sprinkler systems.
- inspect drainfields or dry wells.
- determine the integrity of multiple-pane window glazing or thermal window seals.

Styles & Materials

Wall Covering:

Vinyl Siding

Window Material::

Vinyl

Exterior Doors:

Metal

Walkway Materials:

Concrete

Driveway Material:

Asphalt

Appurtenance:

Deck

Chimney Material::

Flue Pipe

Additional Structures::

None

Deck Attachment:

Appeared to be installed correctly

Items

2.0 Exterior Siding

Comments: Satisfactory

(1) Inspector observed what appeared to be high moisture levels at exterior siding and windows. Indication of algae observed in areas. Inspector recommends general clean up with detergent as needed to promote healthy living conditions. This is general maintenance item only.

- Inspector recommends monitoring for high moisture levels during heavy rainfall.

(2) Light chips or cracks should be sealed and maintained yearly by a qualified person to reduce moisture or insects from entering home.

2.1 Brick/Stone exterior

Comments: Satisfactory

- Inspector observed what appeared to be shrinkage cracking and general wear and tear of the exterior stone, front of home. Long term proper maintenance may increase life span. If cracking continues is a qualified contractor should provide options and cost for corrections as needed
-
- Deterioration observed in areas.

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- Cracking should be properly patched/sealed to help reduce chance of future cracking by a qualified person/contractor as needed.



2.1 Item 1(Picture) front of home, near garage door

2.3 Exterior Trim, Soffits, and Fascia

Comments: Marginal

(1) You should be aware that windows, door openings, and trim be re-sealed with a high-quality sealant every 3 to 5 years to prevent moisture intrusion. Sealant around exterior trim in areas was cracked/damaged, and needed maintenance to avoid potential moisture intrusion. The Inspector recommends maintenance be performed by a qualified person.

(2) Inspector observed what appeared to be a damaged or incorrectly installed trim piece at front of house. This condition may result in moisture entry towards the home. Recommended repair by a qualified person/contractor as needed.



2.3 Item 1(Picture) damaged flashing, front of home

(3) I observed exposed wood at the exterior of home in areas that was peeling paint or had bare wood exposed. Recommend repainting or repair/replace as needed. All work should be performed by a qualified contractor or person. This is a general maintenance item.

- Neglect may result in wood rot.



2.3 Item 2(Picture) garage door trim

2.4 Window Exteriors

Comments: Satisfactory

Inspector observed missing window screens on some exterior windows. Recommend before the end of your inspection deadline to have a qualified person confirm all screens are present and are in good working order. Counting the number of screens vs windows goes beyond the scope of an inspection.

- Damaged screen at garage door, general maintenance.

2.5 Driveway

Comments: Satisfactory

Common cracks ($\frac{1}{4}$ -inch or less) were visible in the driveway at the time of the inspection. Cracks exceeding $\frac{1}{4}$ inch should be filled with an appropriate sealant to avoid continued damage to the driveway surface from freezing moisture.

2.6 Walkways

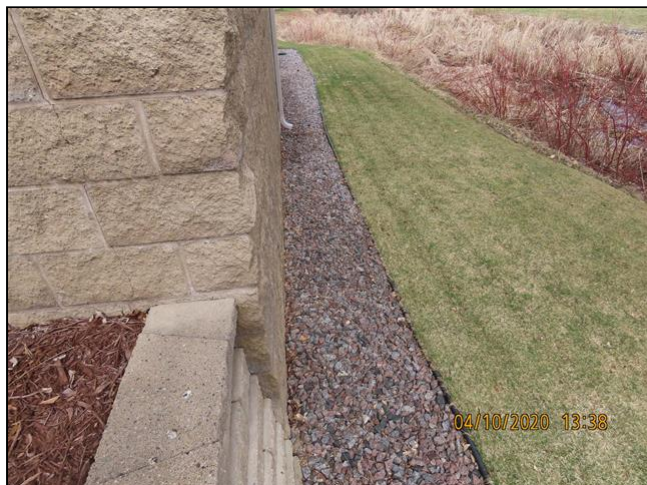
Comments: Satisfactory

Cracks ($\frac{1}{4}$ inch or less) were visible in the sidewalk at the time of the inspection. Cracks exceeding $\frac{1}{4}$ inch should be patched with an appropriate sealant by a qualified person to avoid continued damage to the walkway surface from freezing moisture.

2.7 General Grounds

Comments: Marginal

(1) The ground should slope away from the home a minimum of $\frac{1}{4}$ -inch per foot for a distance of at least six feet from the foundation. The Inspector recommends that area(s) of the home have re-grading to improve drainage near the foundation as needed. Monitor for pooling water in the yard during heavy rainfall.



2.7 Item 1(Picture) ground should slope away from the home a minimum of ¼-inch away from house

(2) I observed birds nest at exterior of house, under deck. I recommend removal by a qualified person as needed for safety.

2.8 Deck, Balcony, Porch or Carport

Comments: Marginal

The deck showed moderate to advanced wear-and-tear commensurate with age. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection.

- Algae is an indication of high moisture levels. Reducing moisture may increase life span of wooden components.
- Item 2(Picture) Finish coating designed to protect the deck was not present. Failure to apply a finish coating will allow Ultra Violet (UV) radiation from sunlight, heat, moisture and freezing moisture to reduce the life span of bare wood exposed to weather.
- Item 3(Picture) - Wood rot observed in areas is indication that repair or replacement is needed in areas. Recommend further evaluation and correction as needed by a qualified contractor.
 -
 - Maintenance performed on an appropriate schedule can significantly extend the life span of wood deck components



2.8 Item 1(Picture) rear of home



2.8 Item 2(Picture) rear of home



2.8 Item 3(Picture) rear of home

2.9 Door Exteriors

Comments: Unsatisfactory

(1) Replace weather stripping and door sweeps to increase energy efficiency, general maintenance item.

You should consider replacement or re-keying of locks for added security as desired.

(2) You may wish to obtain a cost estimate for the following before the end of your inspection deadline.

- Item 1(Picture) wood rot at exterior door(s), 4 locations.
- Item 2(Picture) advanced wood rot, hardware difficult to operate, door was difficult to operate, light moisture entry observed at interior of home near trim.



2.9 Item 1(Picture) rear of home, at deck



2.9 Item 2(Picture) rear of home, basement exterior door

2.10 Exterior Wall Penetrations

Comments: Marginal

Exterior penetrations should be sealed with an appropriate sealant to prevent moisture and insect entry. All work should be performed by a qualified person as needed on a regular maintenance schedule.

- Replace sealant as needed, damaged/missing sealant in area(s).

2.16 Fences, Gates, and Boundary Walls

Comments: Satisfactory

Inspector observed what appeared to be displacement and or settlement at exterior boundary wall. If shifting or cracking continues a qualified person or contractor should repair to reduce chance of blacks falling or slipping. Reducing moisture in the nearby area may decrease chance of settlement.



2.16 Item 1(Picture)

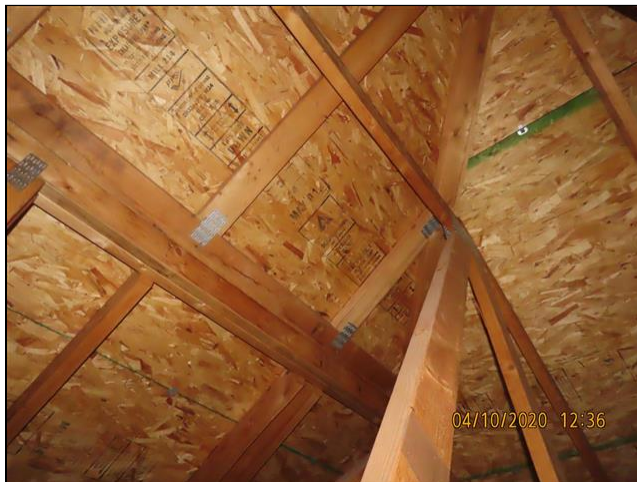
3. Garage

The inspector shall inspect:

- garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls.

The inspector is not required to:

- inspect or operate equipment housed in the garage, except as otherwise noted.
- verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door.



Styles & Materials

Garage Door Type:

Three Automatic

Vehicle Door Automatic Reverse::

Installed and operating correctly

Items

3.0 Vehicle Doors

Comments: Satisfactory

(1) Garage doors are not tested by the Inspector using specialized equipment and this inspection will not confirm compliance with manufacturer's specifications. This inspection is performed according to the Inspector's judgment from past experience. You should adjust your expectations accordingly. If you wish to ensure that the garage door automatic-reverse feature complies with the manufacturer's specifications, you should have it inspected by a qualified garage door contractor.

- General wear and tear was observed from indication of rust/corrosion. This is for your information only.

(2) I observed weather stripping that was not functioning as designed or was damaged near vehicle garage door. This can allow water entry and should be corrected as needed by a qualified person.

- Moisture stains at garage wall in 4 localized areas. The source should be located and corrected as needed.

3.1 Structural Walls - Interior & Exterior

Comments: Satisfactory, Not Visible

Areas of the garage were blocked by sellers personal belongings. I did not move or inspect behind objects. I recommend asking seller to move belonging and further inspect behind objects. We can return for an additional fee to re-inspect areas of the home that were restricted at time of inspection.

- Visible areas did not appear to have major cracking or displacement.

3.2 Interior Surfaces - Walls & Ceiling

Comments: Satisfactory

Garage wall(s), in localized areas near overhead garage door(s) exhibited evidence of moisture entry. The moisture meter showed no elevated levels of moisture in the ceiling materials at the time of the inspection, indicating that leakage

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has not been recent. The lack of elevated moisture levels may be an indication that the source of leakage has been corrected. You should ask the seller about this condition.



3.2 Item 1(Picture) localized moisture near overhead garage doors



3.2 Item 2(Picture) localized moisture near overhead garage doors



3.2 Item 3(Picture) area(s) dry at time of inspection.

3.3 Conventional Doors

Comments: Marginal

- Item 1(Picture) Exposed wood may deteriorate over time. Recommend proper general maintenance to increase life span.
- Item 2(Picture) Wood rot/peeling paint, conventional garage door(s) may be nearing end of useful life span. Repair/replace as needed to reduce chance of damages to nearby components.



3.3 Item 1(Picture) rear of home



3.3 Item 2(Picture) front of home

3.4 Floors

Comments: Satisfactory

3.5 Fire Separation

Comments: Satisfactory

3.6 Stairs/Steps to Living Space

Comments: Satisfactory

3.19 Roof Framing

Comments: Satisfactory

The attic inspection was limited to evaluation from the access hatch. The Inspector disclaims responsibility for inspection of portions of the attic not readily accessible or viewable from the attic access hatch.

Garage doors should have the following warning labels:

- A spring warning label attached to the spring assembly
- A general warning label attached to the back of the door panel
- A warning label near the wall control button

Two warning labels attached to the door in the vicinity of the bottom of the bottom corner brackets. Some newer doors have tamper-resistance bottom corner brackets do not require these warnings.

4. Interior

The inspector shall inspect:

- a representative number of doors and windows by opening and closing them;
- floors, walls and ceilings;
- stairs, steps, landings, stairways and ramps;
- railings, guards and handrails; and

The inspector is not required to:

- inspect paint, wallpaper, window treatments or finish treatments.
- inspect floor coverings or carpeting.
- inspect central vacuum systems.
- inspect for safety glazing.
- inspect security systems or components.
- evaluate the fastening of islands, counter-tops, cabinets, sink tops or fixtures.
- move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure.
- move suspended-ceiling tiles.
- inspect or move any household appliances.
- operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards.
- operate any system, appliance or component that requires the use of special keys, codes, combinations or devices.
- inspect microwave ovens or test leakage from microwave ovens.
- operate or examine any sauna, steam-generating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices.
- inspect elevators.
- inspect remote controls.
- inspect appliances.
- inspect items not permanently installed.
- discover firewall compromises.
- inspect pools, spas or fountains.
- determine the adequacy of whirlpool or spa jets, water force, or bubble effects.
- determine the structural integrity or leakage of pools or spas.

Styles & Materials

Ceiling and Wall Materials:

Gypsum

Interior Doors::

Wood

Floor Covering

Materials::

- Carpet
- Wood
- Tile
- Viny Tile
- Area Rugs
- Multiple Types of

Flooring

Radon::

Not Tested

Smoke/CO Detectors::

Smoke detectors installed
Aged (yellow color) smoke detectors - recommends replacment
as per manufactures recommendation.

Windows Free of

Peeling Paint:
Yes

**Windows Free of Moisture/Deterioration
or Damage:**

General wear and tear
Hardware in areas not respoding as
designed or needs correction

Window Glazing::

Double-pane

Items

4.0 Smoke Detectors

Comments: Marginal

Be sure to check smoke alarms for proper function after moving in. You should check the detector indicator lights occasionally to be sure that each detector has power.

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Inspector recommends a minimum of one (1) working smoke alarm located on each level of a dwelling as well as located in the vicinity of each sleeping room.

- The smoke detectors at interior of home were turning "yellow" in color. This indicates the smoke alarms are nearing the end of their life span. The inspector recommends before moving into replace smoke detectors for safety by a qualified person

4.1 Carbon Monoxide Detectors

Comments: Satisfactory

Be sure to check carbon monoxide alarms for proper function after moving in.

Inspector recommends a working carbon monoxide alarm be located a maximum of 10 ft outside of each sleeping area (room).

4.2 Floors

Comments: Satisfactory

Floors at the interior of the home exhibited general weathering commensurate with its age.

4.3 Walls & Ceilings

Comments: Satisfactory

Walls in the home showed general minor deterioration commensurate with the age of the home.

- Cracks in areas at interior of home appeared to be the result of long-term settling. Some settling is not unusual in a home of this age and these cracks are not a structural concern.

4.4 Miscellaneous Components

Comments: Not Applicable

The home interior showed general to moderate wear and deterioration commensurate with its age. You should obtain cost estimates from qualified professionals for any and all repairs before the end of your inspection deadline.

4.5 Doors

Comments: Satisfactory

Doors in the home showed general minor deterioration commensurate with the age of the home.

4.6 Interior Trim

Comments: Satisfactory

Trim at the interior of the home exhibited general weathering commensurate with its age. Signs of past moisture (dry at time of inspection) observed near some interior window(s).

4.7 Windows

Comments: Satisfactory

(1) You may wish to ask seller about this condition or have a qualified technician provide options and cost for corrections as desired.

- Loose/missing hardware in 2 or more location(s). Recommend asking seller about this condition or correct/replace hardware as needed. General maintenance item.

(2) Inspector observed stains at or near interior windows in three or more locations. The areas were dry at time of inspection indicating the source is intermittent or has been repaired. You may wish to ask seller about this condition.

- See item 8.1 for more information. (Staining near corners of windows may indicate high moisture levels.)
- Determining exact cause and future moisture entry goes beyond the scope of a home inspection.



4.7 Item 1(Picture)

4.8 Videos of Interior/Exterior

Comments: Not Applicable

Videos uploaded 4-11-2020 (it may up to 24 hours for viewing)

- https://youtu.be/3xt_-Q83PH4 (exterior of home)
- <https://youtu.be/Q9iZeKZpp6w> (interior of home)

4.15 Central Vacuum System

Comments: Not Visible

The home appeared to be equipped with a central vacuum system which lies beyond the scope of the General Home Inspection. The Inspector recommends having this system inspected by a qualified technician or professional as needed/desired before the expiration of your Inspection Objection Deadline.

5. Structural Components

The inspector shall inspect:

- the foundation;
- the basement;
- the crawlspace; and
- structural components.

The inspector is not required to:

- enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to him/herself.
- move stored items or debris.
- operate sump pumps with inaccessible floats.
- identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems.
- provide any engineering or architectural service.
- report on the adequacy of any structural system or component.

Styles & Materials

Foundation Configuration::

Unfinished basement

Foundation Method/Materials::

Concrete Masonry Unit (CMU) foundation walls

Ceiling Structure:

Wood

Floor Structure:

Concrete

Columns or Piers:

Supporting Walls

Egress Windows:

Walk Out Basement

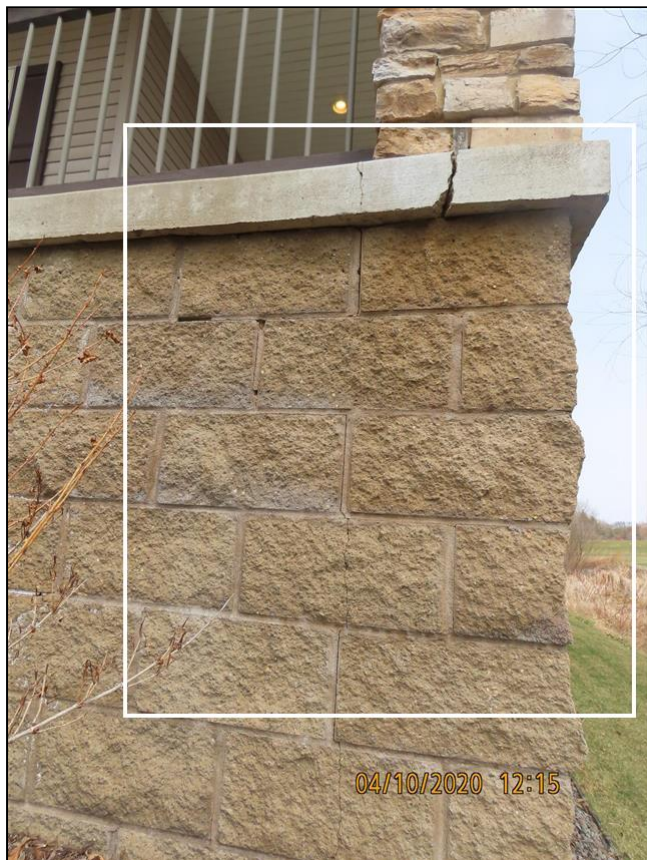
Items

5.0 Exterior Wall Construction

Comments: Marginal

Inspector observed what appeared to be settlement/step cracking and missing mortar at the exterior stone wall. Front right corner of home, facing front.

- Determining exact cause and future settlement goes beyond the scope of a home inspection. Inspector recommends cracks be properly patched or sealed to reduce chance of freeze cracking. You may wish to obtain any cost estimates before the end of your inspection deadline.



5.0 Item 1(Picture) front right corner of home, facing front

5.1 Floor Structure

Comments: Satisfactory

5.2 Foundation

Comments: Satisfactory

(1) The General Home Inspection does not include evaluation of structural components hidden behind floor, wall, or ceiling coverings, but is visual and non-invasive only.

(2) Localized crack was visible in the the basement floor slab. This type of cracking can have several causes:

- Some concrete shrinkage, which is a normal part of the concrete curing process and not a structural concern:
- Post-construction settling due to inadequate compaction of the soil beneath the slab during construction. This also is not an unusual condition and this type of cracking ceases after the first few years after original construction as the soil beneath the slab becomes stable: or
- Possible moisture entry which can lead to further cracking long term. Inspector observed what appeared to be stains in the nearby area (were dry at time of inspection).

Determining the exact cause of cracking lies beyond the scope of the General Home Inspection.

If cracking continues, a contractor should confirm this finding and provide options and cost for correction as needed.



5.2 Item 1(Picture)

5.3 General Structure

Comments: Satisfactory

Because the General Home Inspection is a visual inspection, inspection of the basement concrete floor slab, walls and floor structure is limited by the fact that most of these components were hidden beneath floor covering materials or behind finished walls. The Inspectors comments are limited to only those portions of foundation that could be viewed directly.

5.4 Basement

Comments: Satisfactory

(1) Stains on the basement floor, localized area, indicated possible moisture intrusion. Although it is inconvenient in an unfinished basement, it would become a major problem if the basement were finished as living space.

- The area was dry at time of inspection.
- Inspector recommends asking seller about moisture entry in this area. A qualified contractor should confirm this finding as needed. Determining future moisture entry goes beyond the scope of a home inspection. Reducing moisture may decrease chance of microbial growth.



5.4 Item 1(Picture)



5.4 Item 2(Picture)

(2) Personal items block full access, especially near/under the basement staircase. Recommend further evaluation once personal items have been moved.



5.4 Item 3(Picture)

Cracking related to soil/foundation movement indicates the potential for present or future. Determining future cracking or movement goes beyond the scope of an inspection. A qualified contractor should further evaluate any cracks or concerns.

Much of the home structure is hidden behind exterior and interior roof, floor, wall, and ceiling coverings, or is buried underground. Because the General Home Inspection is limited to visual and non-invasive methods, this report may not identify all structural deficiencies. Identification of portions of the wall structure not directly visible requires logical assumptions on the part of the Inspector that are based on the Inspectors past experience and knowledge of common building practices.

Upon observing indications that structural problems may exist that are not readily visible, or the evaluation of which lies beyond the Inspector's expertise, the inspector may recommend evaluation or testing by a specialist that may include invasive measures, which would require homeowner permission.

Work done without a building permit and and the accompanying inspections of structural, plumbing, electrical, and general safety conditions may contain hazardous defects that are not readily visible. You should ask the seller for documentation showing that work in the basement was approved by local building inspectors.

Inspection of the home interior does not include testing for mold, radon, asbestos, lead paint, or other environmental hazards unless specifically requested as an ancillary inspection for an additional fee.

Because the General Home Inspection is limited to visual and non-invasive methods, this report may not identify all structural deficiencies.

6. Plumbing System

The inspector shall inspect:

- the main water supply shut-off valve;
- the main fuel supply shut-off valve;
- the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing;
- interior water supply, including all fixtures and faucets, by running the water;
- all toilets for proper operation by flushing;
- all sinks, tubs and showers for functional drainage;
- the drain, waste and vent system; and
- drainage sump pumps with accessible floats.

The inspector is not required to:

- light or ignite pilot flames.
- measure the capacity, temperature, age, life expectancy or adequacy of the water heater.
- inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems.
- determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply.
- determine the water quality, potability or reliability of the water supply or source.
- open sealed plumbing access panels.
- inspect clothes washing machines or their connections.
- operate any valve.
- test shower pans, tub and shower surrounds or enclosures for leakage or functional overflow protection.
- evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping.
- determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices.
- determine whether there are sufficient clean-outs for effective cleaning of drains.
 - **Non-permitted plumbing may contain hidden defects. You should ask the seller for documentation showing that plumbing was installed with the necessary permits and inspections.**
- evaluate fuel storage tanks or supply systems.
- inspect wastewater treatment systems.
- inspect water treatment systems or water filters.
- inspect water storage tanks, pressure pumps, or bladder tanks.
- evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements.
- evaluate or determine the adequacy of combustion air.
- test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves.
- examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation.
- determine the existence or condition of polybutylene, polyethylene, or similar plastic piping.
- inspect or test for gas or fuel leaks, or indications thereof.



main water supply

Styles & Materials

Water Supply Source::

Public Water Supply

Main Water Supply Pipe::

Copper

Water Distribution Pipes::

Copper
Cross-linked Polyethylene (PEX)

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Sewage System Type::

Public

Drain Waste and Vent Pipe Materials::

Polyvinyl Chloride (PVC)

Water Heater Fuel Type:

Gas

Water Heater Manufacturer:

State

Water Heater Tank Capacity:

50 gallons

Sump Pump::

Relaint on extension cord, further evaluation recommended

Type of Gas::

Natural Gas

Gas Pipe Material::

Black Steel
Copper

Water Treatment Systems/Filters::

Water Softener (not inspected)

Functional Flow:

All plumbing fixtures had functional flow

Functional Drainage::

All plumbing fixtures appeared to have had functional drainage

Gas Shut off Valve Located & Has Label:

This componet should be tagged or have a label

Water Shut off Valve Located & Has Label:

This componet should be tagged or have a label

Items

6.0 Exterior Plumbing Supply

Comments: Not Visible

No backflow anti-siphon device on exterior water spigot(s). Corrections needed by a qualified plumber. This is not a code inspection. You may wish to check with city code to determine if this update/modernization is required.

The exterior water spigot was not turned on at time of inspection, Which is not uncommon during Minnesota's winter months. Turning on this component goes beyond the scope of a home inspection. Recommend asking seller about this condition. A plumber should further evaluate and correct as needed.

6.1 Source of Water

Comments: Satisfactory

6.2 Water Supply, Distribution

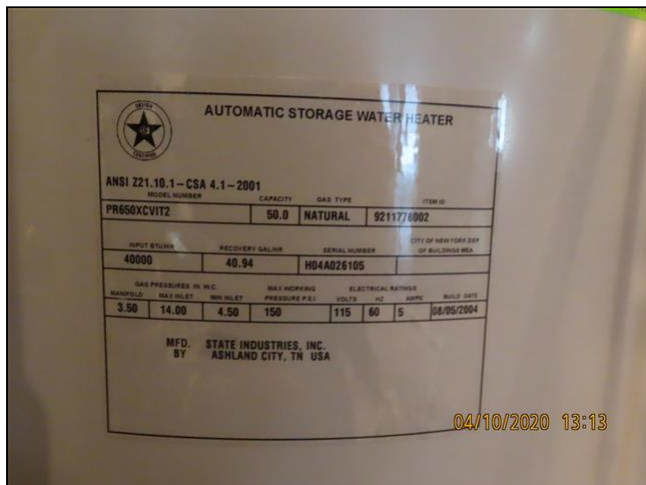
Comments: Satisfactory

6.3 Water Heater

Comments: Unsatisfactory

(1) The EPA (Environmental Protection Agency) recommends setting your water heater at 120 degrees to prevent burns.

- Current water temp 118F - satisfactory
- Water heater Manufacture date: appears to be 2004



6.3 Item 1(Picture)

(2) The water heater was actively leaking at the TPR valve at time of inspection. Inspector observed moderate to advanced corrosion which is indication the water heater is at the end of its useful life span.

- Inspector recommends replacement of the water heater. You may wish to obtain a cost estimate before the end of your inspection deadline.



6.3 Item 2(Picture)

(3) Although this water heater was installed in a location in which leakage of the tank or plumbing connections would cause damage, no drip pan was installed. A proper drip pan should be installed by a qualified plumbing contractor to prevent possible water damage.

- It may not be cost effective to install this component until the water heater is replaced.

6.4 Sump Pump

Comments: Marginal

(1) The home had a sump pump installed in a pit in the basement floor. Sump pumps are installed to prevent rising groundwater from entering the home. Sump pumps should be tested on an annual basis to ensure that they are in working order. Pumps have a filter that should be cleaned during routine maintenance. The inspector recommends that the sump pump be serviced annually to ensure that it is operable when it is needed.

(2) Recommend the following corrections as needed by a qualified person or contractor.

- Item 1(Picture) Extension of the sump pump drain line needed to reduce chance of moisture near the foundation.
- The sump pump appears to be reliant on an extension cord. You may wish to have an electrician provide options and costs for corrections as needed.



6.4 Item 1(Picture)

6.5 Water Treatment Systems

Comments: Not Visible

We do not inspect water treatment systems or water softeners.

6.7 Sewage and DWV Systems

Comments: Not Visible

Inspector strongly recommends before the end of your inspection deadline to have a qualified plumber provide a sewer scope of the homes waste system (from home to road) to ensure this system is in proper working order. This system was not inspected and inspector disclaims knowledge. You should ask your insurance agent for costs to ensure the sewer line. You may wish to have it scoped to ensure its condition before the end of your inspection deadline.

6.14 Misc. Conditions

Comments: Not Visible

Buried plumbing components and water irrigation systems go beyond the scope of a home inspection. You may wish to ask seller to disclose

6.16 Radon Mitigation System

Comments: Not Applicable

The home is located in an area known to produce radon. This home had no radon mitigation system installed. Radon is an odorless invisible radioactive gas which the EPA calls the second-leading cause of lung cancer in the U.S. The general area in which this home is located is known have potentially high levels of radon, although radon is very site-specific. Consider having a radon test performed to gain an understanding of average radon levels in the home. Measurement should be performed by qualified personnel familiar with radon testing protocols for real estate transactions.

A plumbing permit is generally required for replacing water heaters and underground piping, alter piping inside a wall or ceiling, or beneath a floor, and for plumbing in all new installations. Emergency repair, alteration, or replacement of freeze-damaged or leaking concealed piping, if new piping exceeds 5 feet.

7. Electrical System

The inspector shall inspect:

- the service drop;
- the overhead service conductors and attachment point;
- the service head, goose neck and drip loops;
- the service mast, service conduit and raceway;
- the electric meter and base;
- service-entrance conductors;
- the main service disconnect;
- panel boards and over-current protection devices (circuit breakers and fuses);
- service grounding and bonding;
- a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible;
- all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and
- for the presence of smoke and carbon-monoxide detectors.

The inspector is not required to:

-
- insert any tool, probe or device into the main panel board, sub-panels, distribution panel boards, or electrical fixtures.
- operate electrical systems that are shut down.
- remove panel board cabinet covers or dead fronts.
- operate or re-set over-current protection devices or overload devices.
- operate or test smoke or carbon-monoxide detectors or alarms.
- inspect, operate or test any security, fire or alarm systems or components, or other warning or signaling systems.
- measure or determine the amperage or voltage of the main service equipment, if not visibly labeled.
- inspect ancillary wiring or remote-control devices.
- activate any electrical systems or branch circuits that are not energized.
- inspect low-voltage systems, electrical de-icing tapes, swimming pool wiring, or any time-controlled devices.
- verify the service ground.
- inspect private or emergency electrical supply sources, including, but not limited to: generators, windmills, photo voltaic solar collectors, or battery or electrical storage facility.
- inspect spark or lightning arrestors.
- inspect or test de-icing equipment.
- conduct voltage-drop calculations.
- determine the accuracy of labeling.

inspect exterior lighting.

Styles & Materials

<p>Electrical Service Conductors:: Underground service</p>	<p>Ground Fault Circuit Interrupter (GFCI) Protection:: Yes - Appears to have GFCI</p>	<p>Arc Fault Circuit Interruptor (AFCI) Protection:: Does Not Appear to have ACFI Protection Further Evaluation Needed</p>
<p>Service Panel Ampacity:: 200 amps</p>	<p>Electrical System Certified within 10 Years or Less: No, does not appear to be - Further elaluation recommended by an electrical contractor</p>	<p>Wiring Methods:: Romex Mostly Not Visible</p>
<p>Service Panel Manufacturer:: Square D</p>	<p>Service Disconnect Type:: Circuit Breakers</p>	<p>Number of Sub-panels:: 1</p>

Items

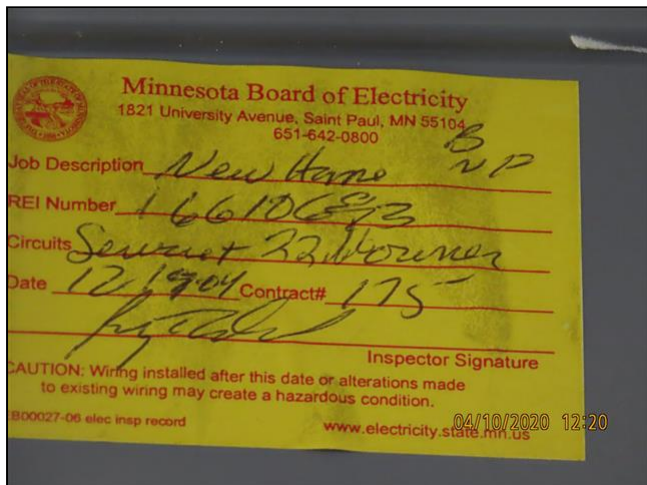
7.0 General Electrical System Condition

Comments: Satisfactory

(1) The home contained an electrical system which was last inspected more then 10 years ago. While it may technically meet National Electric Code requirements, may not meet modern safety standards.

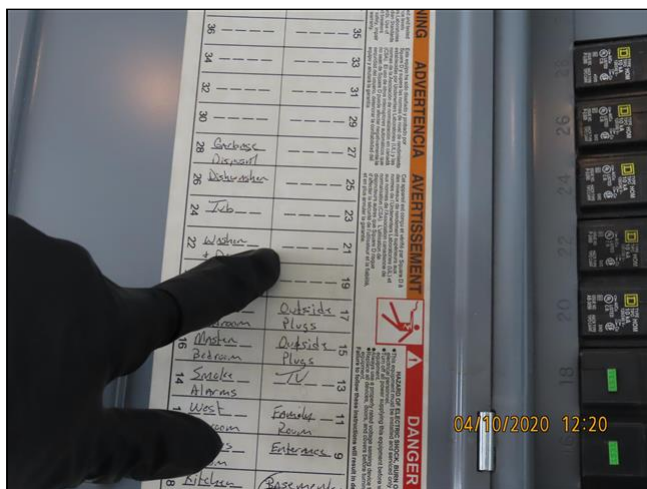
- An additional inspection of the entire electrical system by a qualified electrical contractor would be needed to ensure modern standards are met.

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7.0 Item 1(Picture)

(2) The circuits for the main electrical panel legend in the home were not fully labeled during the inspection. Circuits which are not labeled may prevent the ability for proper operation including shut-off. As such the circuits should be identified and labeled within the panel legend.



7.0 Item 2(Picture)

7.1 Visible Branch Wiring

Comments: Satisfactory

7.2 Service Panel Cabinet and Cover

Comments: Satisfactory

7.3 Conventional Electrical Receptacles

Comments: Unsatisfactory

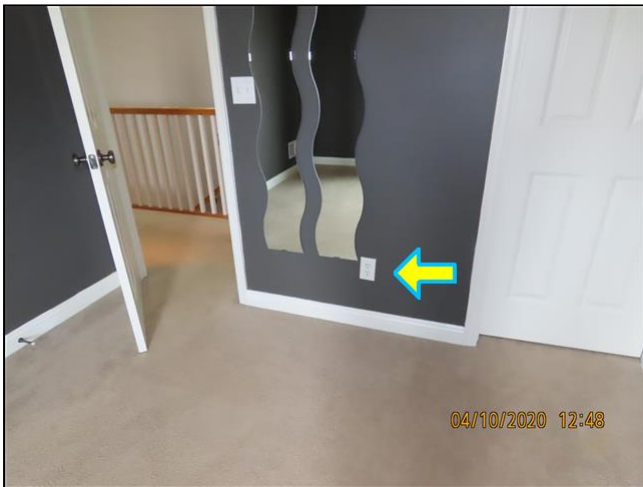
- Item 1(Picture) replace missing weather protected cover
- Item 2(Picture) - appears to have open/neutral
- Item 3(Picture) - upstairs bedroom electrical receptacle was loose, re-secure as needed.



7.3 Item 1(Picture) front of home, near main entry



7.3 Item 2(Picture) front entry porch



7.3 Item 3(Picture)

7.4 Lighting

Comments: Marginal

- An interior fan/light was loose or wobbled when in operation. This is a general maintenance item.
- Two light bulbs in the garage were not responding. If after the bulbs are replaced this light still fails to respond to the switch, a qualified electrical contractor should further evaluate and correct as needed to ensure proper conditions exist.



7.4 Item 1(Picture) garage

7.5 Switches

Comments: Satisfactory

Switches are sometimes connected to fixtures that require specialized conditions, such as darkness or movement, to respond. Home wall switches sometimes are connected to outlets (sometimes only the top or bottom half of an outlet). Because outlets are often inaccessible and because including the checking of both halves of every electrical outlet in the home exceed the Standards of Practice and are not included in a typical General Home Inspection price structure, and functionality of all switches in the home may not be confirmed by the inspector.

Over the years, many different types and brands of electrical components have been installed in homes. Electrical components and standards have changed and continue to change. Homes electrical systems are not required to be updated to meet newly enacted electrical codes or standards. Full and accurate inspection of electrical systems requires contractor-level experience. For this reason, full inspection of home electrical systems lies beyond the scope of the General Home Inspection.

The General Home Inspection is limited to identifying common electrical requirements and deficiencies. Conditions indicating the need for a more comprehensive inspection will be referred to a qualified electrical contractor.

8. Heating & Air Conditioning

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The inspector shall inspect:

- the heating system, using normal operating controls.
- the cooling system, using normal operating controls.

Heating System: The inspector is not required to:

- inspect, measure, or evaluate the interior of flues or chimneys, fire chambers, heat exchangers, combustion air systems, fresh-air intakes, makeup air, humidifiers, dehumidifiers, electronic air filters, geothermal systems, or solar heating systems.
- inspect fuel tanks or underground or concealed fuel supply systems.
- determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system.
- light or ignite pilot flames.
- activate heating, heat pump systems, or other heating systems when ambient temperatures or other circumstances are not conducive to safe operation or may damage the equipment.
- override electronic thermostats.
- evaluate fuel quality.
- verify thermostat calibration, heat anticipation, or automatic setbacks, timers, programs or clocks.
- measure or calculate the air for combustion, ventilation, or dilution of flue gases for appliances.

Cooling System: The inspector shall report as in need of correction:

- any cooling system that did not operate; and
- if the cooling system was deemed inaccessible.

The inspector is not required to:

- determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system.
- inspect portable window units, through-wall units, or electronic air filters.
- operate equipment or systems if the exterior temperature is below 65° Fahrenheit, or when other circumstances are not conducive to safe operation or may damage the equipment.
- inspect or determine thermostat calibration, cooling anticipation, or automatic setbacks or clocks.
- examine electrical current, coolant fluids or gases, or coolant leakage.
- **The inspector shall inspect: (if applicable)**
- readily accessible and visible portions of the fireplaces and chimneys;
- lintels above the fireplace openings;
- damper doors by opening and closing them, if readily accessible and manually operable; and
- clean out doors and frames.
-
- **The inspector is not required to:**
- inspect the flue or vent system.
- inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels.
- determine the need for a chimney sweep.
- operate gas fireplace inserts.
- light pilot flames.
- determine the appropriateness of any installation.
- inspect automatic fuel-fed devices.
- inspect combustion and/or make-up air devices.
- inspect heat-distribution assists, whether gravity-controlled or fan-assisted.
- ignite or extinguish fires.
- determine the adequacy of drafts or draft characteristics.
- move fireplace inserts, stoves or firebox contents.
- perform a smoke test.
- dismantle or remove any component.
- perform a National Fire Protection Association (NFPA)-style inspection.
- perform a Phase I fireplace and chimney inspection.

Heating system inspection will not be as comprehensive as that performed by a qualified heating, ventilating, and air-conditioning (HVAC) system contractor. For example: identification of cracked heat exchangers requires a contractor evaluation. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will result in referral to a qualified HVAC contractor. The general home inspection does not include any type of heating system warranty or guaranty. Inspection of heating systems is limited to basic evaluation based on visual examination and operation using normal controls. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will be referred to a qualified heating, ventilating, and air-conditioning (HVAC) contractor. Inspection of heating systems typically includes (limited) operation and visual inspection of: the heating appliance (confirmation of adequate response to the call for heat); proper heating appliance location; proper or adequate heating system configuration; exterior cabinet condition; fuel supply configuration and condition; combustion exhaust venting; heat distribution components; proper condensation discharge; and temperature/pressure relief valve and discharge pipe (presence, condition, and configuration).

The inspector shall inspect:

- the heating system, using normal operating controls.
- the cooling system, using normal operating controls.

Heating System: The inspector is not required to:

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- inspect, measure, or evaluate the interior of flues or chimneys, fire chambers, heat exchangers, combustion air systems, fresh-air intakes, makeup air, humidifiers, dehumidifiers, electronic air filters, geothermal systems, or solar heating systems.
- inspect fuel tanks or underground or concealed fuel supply systems.
- determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system.
- light or ignite pilot flames.
- activate heating, heat pump systems, or other heating systems when ambient temperatures or other circumstances are not conducive to safe operation or may damage the equipment.
- override electronic thermostats.
- evaluate fuel quality.
- verify thermostat calibration, heat anticipation, or automatic setbacks, timers, programs or clocks.
- measure or calculate the air for combustion, ventilation, or dilution of flue gases for appliances.

Cooling System: The inspector shall report as in need of correction:

- any cooling system that did not operate; and
- if the cooling system was deemed inaccessible.

The inspector is not required to:

- determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system.
- inspect portable window units, through-wall units, or electronic air filters.
- operate equipment or systems if the exterior temperature is below 65° Fahrenheit, or when other circumstances are not conducive to safe operation or may damage the equipment.
- inspect or determine thermostat calibration, cooling anticipation, or automatic setbacks or clocks.
- examine electrical current, coolant fluids or gases, or coolant leakage.
- **The inspector shall inspect: (if applicable)**
- readily accessible and visible portions of the fireplaces and chimneys;
- lintels above the fireplace openings;
- damper doors by opening and closing them, if readily accessible and manually operable; and
- clean out doors and frames.
-
- **The inspector is not required to:**
- inspect the flue or vent system.
- inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels.
- determine the need for a chimney sweep.
- operate gas fireplace inserts.
- light pilot flames.
- determine the appropriateness of any installation.
- inspect automatic fuel-fed devices.
- inspect combustion and/or make-up air devices.
- inspect heat-distribution assists, whether gravity-controlled or fan-assisted.
- ignite or extinguish fires.
- determine the adequacy of drafts or draft characteristics.
- move fireplace inserts, stoves or firebox contents.
- perform a smoke test.
- dismantle or remove any component.
- perform a National Fire Protection Association (NFPA)-style inspection.
- perform a Phase I fireplace and chimney inspection.

Styles & Materials

Energy Source::

Gas

Heating System Type::

Gas-fired Furnace (high efficiency)

Heating System Brand::

Trane

Air Filter::

Cartridge

Heating/Cooling Ducts::

Not insulated

Filter Size::

Adequate

Types of Fireplaces:

Vented Gas Logs

Cooling System Type::

Air Conditioner Unit

Cooling Equipment Energy Source::

Electricity

Cooling System Manufacturer::

Lennox

Items

8.0 Furnace

Comments: Satisfactory

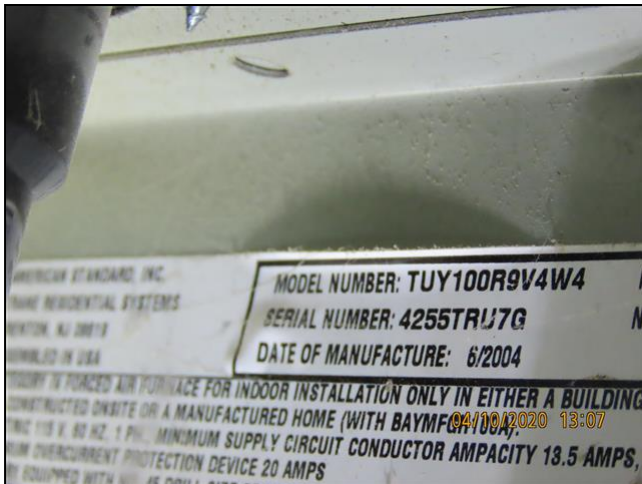
(1) The Inspector specifically disclaims furnace heat exchangers because proper evaluation requires invasive, technically exhaustive measures that exceed the scope of the General Home Inspection. The Inspector recommends

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that you have it certified/maintained by a qualified HVAC contractor to ensure the furnace remains in its best working order.

Inspector recommends having a qualified HVAC technician clean furnace and supporting duct work to increase life span of furnace and promote healthy living conditions. General cost is \$300-\$500 and is considered general maintenance that should be completed ever 2-3 years.

- Determining remaining life span goes beyond the scope of a home inspection.
- The furnace appeared to be working under normal operation at time of inspection (using thermostat)
- You may wish to consider purchasing a home warranty or obtaining information about long term service plans to ensure the furnace remains in its best working order.
- Manufacture date - 2004 (average life span 15-20 years)



8.0 Item 1(Picture)

(2) Inspector observed what appeared to be rust or corrosion at interior cabinet of furnace indicating the source may be intermittent or has been repaired.

- You may wish to ask the seller about this condition or any past maintenance records. Determining exact cause and future moisture goes beyond the scope of a home inspection. A qualified HVAC technician can confirm this finding as needed.
- Inspector recommends proper maintenance to increase lifespan. This is considered a general maintenance



8.0 Item 2(Picture)

8.1 Fuel, Piping and Support

Comments: Satisfactory

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(1) Humidity levels above 70%RH are known to be optimum conditions for dust mites and mould to grow. The ideal indoor humidity is between 45 to 55%RH and should always be maintained between 40 to 60%RH.

Full inspection of the humidity controller goes beyond the scope of a home inspection. Indication of past moisture from corrosion visible. You may wish to ask seller about this condition. The area was dry at time of inspection indicating the source may be intermittent or has been corrected.

(2) Recommend proper maintenance of the Renew Aire filters as recommended by the manufacture. A qualified HVAC technician should preform annual maintenance or as needed.

8.2 Thermostat

Comments: Satisfactory

8.3 Filter condition

Comments: Satisfactory

Recommend replacement as needed on a regular schedule as recommended by manufacture of filter. General maintenance item.

8.4 Fireplace

Comments: Not Visible

(1) The gas fireplace requires invasive, technically exhaustive measures that exceed the scope of the General Home Inspection.

- Recommend service by a qualified contractor on a regular maintenance basis and before your first use. Find a CSIA-certified inspector near you at <http://www.csia.org/search>

(2) The batteries for the fireplace were not installed or were not working at time of inspection. The fireplace was not fully inspected.

- The pilot light was ON at time of inspection.
- Recommend asking seller to disclose the condition of the fireplace
- Inspector recommends annual maintenance on the gas fireplace, as with any other gas appliance.



8.4 Item 1(Picture)

8.5 Central Air Conditioner

Comments: Not Visible

(1) Proper evaluation of the air conditioning unit may require invasive, technically exhaustive measures that exceed the scope of the General Home Inspection. The Inspector recommends evaluation and service by a qualified HVAC technician to more accurately determine the AC's condition and ensure that it is in the best possible working order before the end of your inspection deadline.

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- Determining remaining life span goes beyond the scope of an inspection.
- You may wish to obtain information about home warranties or long term service plans as desired.
- Inspector is not able to determine if parts will be available if repairs are needed.



8.5 Item 1(Picture)

(2) The air-conditioning system was not tested because the outside temperature was below 67 degrees F. and to test it would risk damaging the coils. The Inspector recommends evaluation and service by a qualified HVAC technician to more accurately determine the AC's condition and ensure that it is in the best possible working condition on an annual basis.

The Inspector recommends evaluation and service by a qualified HVAC technician to more accurately determine the AC's condition and ensure that it is in the best possible working condition on an annual basis. You may wish to have this component certified before the end of your inspection deadline.

(3) You may wish to consider purchasing a home warranty or obtaining information on long term service plans as desired.

Heating system inspection will not be as comprehensive as that performed by a qualified heating, ventilating, and air-conditioning (HVAC) system contractor. For example: identification of cracked heat exchangers requires a contractor evaluation. Report comments are limited to identification of common requirements and deficiencies. Observed indications that further evaluation is needed will result in referral to a qualified HVAC contractor.

9. Attic

The inspector shall inspect:

- insulation in unfinished spaces, including attics, crawlspaces and foundation areas;
- ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and
- mechanical exhaust systems in the kitchen, bathrooms and laundry area.

The inspector is not required to:

- enter the attic or any unfinished spaces that are not readily accessible, or where entry could cause damage or, in the inspector's opinion, pose a safety hazard.
- move, touch or disturb insulation.
- move, touch or disturb vapor retarders.
- break or otherwise damage the surface finish or weather seal on or around access panels or covers.
- identify the composition or R-value of insulation material.
- activate thermostatically operated fans.
- determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers or wiring.
- determine the adequacy of ventilation.

Styles & Materials

Attic inspected from:: Not Inspected - Sealed Shut	Attic Insulation Material: Unknown	Roof Structure Ventilation:: Unknown
Roof structure ventilation device type:: Roof vents	Attic free of debris or personal belongings and was accessible: Unknown	Approximate attic thermal insulation depth:: Not Inspected - Unknown

Items

9.0 Attic Access

Comments: Not Visible

The attic hatch was sealed at time of inspection. The roof framing was not inspected and the Inspector disclaims any responsibility for confirming its condition.

- The Inspector recommends having the attic area inspected by a qualified inspector after access has been provided, to help ensure that safe conditions exist.

9.1 Roof Framing

Comments: Not Visible

Roof framing not inspected. See item 9.0 for more information.

9.2 Roof Sheathing

Comments: Not Visible

Roof sheathing not inspected. See item 9.0 for more information.

9.3 Roof Structure Ventilation

Comments: Not Visible

The Inspector disclaims confirmation of adequate attic ventilation year-round performance, but will comment on the apparent adequacy of the system as experienced by the inspector on the day of the inspection. Attic ventilation is not an exact science and a standard ventilation approach that works well in one type of climate zone may not work well in another. The performance of a standard attic ventilation design system can vary even with different homesite locations and conditions or weather conditions within a single climate zone. The typical approach is to thermally isolate the attic space from the living space by installing some type of thermal insulation on the attic floor. Heat that is radiated into the attic from sunlight shining on the roof is then removed using devices that allow natural air movement to carry hot air to the home exterior. This reduces summer cooling costs and increases comfort levels, and can help prevent roof problems that can develop during the winter such as the forming of ice dams along the roof eaves. Natural air movement is introduced by providing air intake vents low in the attic space and exhaust vents high in the attic space. Thermal buoyancy (the tendency of hot air to rise) causes cool air to flow into the attic to replace hot air flowing out the exhaust

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vents. Conditions that block ventilation devices, or systems and devices devices that are poorly designed or installed can reduce the system performance.

9.9 Attic Thermal Envelope

Comments: Not Visible

Attic thermal envelope not inspected. See item 9.0 for more information.

10. Bathroom(s)

Inspection of the bathrooms typically includes the following:walls, floors and ceiling; sink (basin, faucet, overflow); cabinets (exteriors, doors, drawers, undersink); toilet/bidet tub and shower (valves, showerhead, walls, enclosure); electrical (outlets, lighting); and room ventilation

Styles & Materials

Bath Vent(s):

Yes

Items

10.0 Bathtub

Comments: Marginal

The master bathroom jet tub appeared to have debris in the jet system when inspector operated the water jets. Determining exact cause goes beyond the scope of a home inspection.

- The most common is dirty plumbing. Scum and other organic build up, caused by body lotions, oils, cosmetics, and hair products brought into the spa by bathers may occur in your plumbing lines that eventually flakes away and comes out when the jets are turned on.
- If this condition continues after several uses and proper cleaning, a qualified technician should further evaluate and correct as needed.



10.0 Item 1(Picture)

10.1 Toilet

Comments: Satisfactory

10.2 Shower

Comments: Marginal

- Item 1(Picture) Missing hardware, water stopper. Replace as needed. General maintenance item.
- Item 1(Picture) - hardware (handle) had what appeared to be an intermittent leak when the water source was turned on. Inspector was not able to determine how often this will occur. Recommend monitoring or replacement as needed. General maintenance item.
- The shower head in the upstairs master bathroom leaked when in operation. Recommend tightening the hardware or replacement as needed by a qualified person. General maintenance item.



10.2 Item 1(Picture) upstairs hallway bathroom shower

10.3 Sink

Comments: Satisfactory

10.4 Cabinets & Countertops

Comments: Satisfactory

Cabinets/counter tops exhibited minor general wear commensurate with the age of the home.

10.5 Mortar/Sealant

Comments: Marginal

Small amounts of missing mortar/sealant observed. This may allow moisture intrusion of the wall assembly. The Inspector recommends replacement by a qualified person/contractor as needed. General maintenance item.



10.5 Item 1(Picture)

10.6 Ventilation

Comments: Satisfactory

11. Kitchen and Built-in Appliances

The inspector is not required to:

- operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.

Styles & Materials

Dishwasher:: Present, not inspected	Dishwasher brand:: Samsung	Refrigerator:: Inspected
Refrigerator Brand:: Samsung	Refrigerator Ice & Water: Ice Maker - Appeared to be working at time of inspection	Oven/Cooktop: Inspected
Oven/Cooktop Brand:: Samsung	Oven/Cooktop Fuel Source: Gas - Gas line not visible, not inspected.	Countertop Material:: Laminate
Cabinets:: Wood	Venting Type: Recirculating (removable filter)	

Items

11.0 Kitchen Appliances

Comments: Satisfactory

The kitchen appliances showed general wear and tear commensurate with age. I am not able to determine exact remaining life span(s). You may wish to consider purchasing a home warranty or obtaining information on long term service plans as desired.

11.1 Refrigerator

Comments: Satisfactory

11.3 Garbage Disposal

Comments: Satisfactory

11.4 Dishwasher

Comments: Not Visible

In accordance with the Standards of Practice the dishwasher was not operated. The Inspector disclaims its proper operation. You should ask the seller about its condition.

- he dishwasher was in use at time of inspection (personal items inside). The dishwasher was not fully inspected.

11.5 Cooktop

Comments: Satisfactory

The General Home Inspection testing of ovens does not include testing of all oven features, but is limited to confirmation of bake and broil features. You should ask the seller about the functionality of any other features.

11.6 Cabinets and Countertops

Comments: Satisfactory

Cabinets and counters at the interior of the home exhibited general weathering commensurate with its age.

11.7 Built-in Microwave

Comments: Satisfactory

11.8 Sink

Comments: Satisfactory

11.9 Ventilation and/or Exhaust

Comments: Satisfactory

The inspector is not required to:

- operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights.

12. Laundry Room

A visual examination will not detect the presence of lint accumulated inside the vent, which is a potential fire hazard. The Inspector recommends that you have the dryer vent cleaned at the time of purchase and annually in the future to help ensure that safe conditions exist. Lint accumulation can occur even in approved, properly installed vents. All work should be performed by a qualified contractor.

Styles & Materials

Laundry Room Appliances::

- Dryer
- Clothes washer

Dryer Power::

Not Visible, Not Inspected

Dryer Vent::

Not Visible - Not Inspected

Dryer 240-volt electrical receptacle::

Not Visible, Not Inspected

Items

12.0 Washer and Dryer

Comments: Not Visible

The washer and dryer were installed at time of inspection. Full inspection of washer and dryer goes beyond the scope of a standard home inspection. You should ask your realtor about home warranties. Inspector disclaims knowledge of their condition(s).

- Personal items in washer/dryer restricted full inspection. You may wish to have seller disclose this information.

12.1 Receptacles, Switches, Connections

Comments: Not Visible

- The power source was not visible and was not inspected. Inspector is not able to determine source (gas or electric).
- The dryer vent was not visible and was not fully inspected.

Personal items in washer/dryer restricted full inspection. You may wish to have seller disclose this information.

12.2 Dryer Venting

Comments: Not Visible

A dryer vent connection was installed in the laundry room. Although the Inspector operated the dryer briefly, the dryer vent was examined visually only. A visual examination will not detect the presence of lint accumulated inside the vent, which is a potential fire hazard. The Inspector recommends that you have the dryer vent cleaned at the time of purchase and annually in the future to help ensure that safe conditions exist. Lint accumulation can occur even in approved, properly installed vents. All work should be performed by a qualified contractor.

- Debris observed from exterior of home at vent. Recommend cleaning after moving in.

12.3 Sink

Comments: Satisfactory

15. Appliance Life Expectancy in Years**Items****15.0 Approximate Life Span of Component(s)**

Keep in mind that the life expectancy listed below is a general guideline only. The make, model and brand and maintenance schedule may alter the overall life span.

Appliance	Life Expectancy in Years
• Air-Conditioner Compressor	12-15
• Asphalt, Wood Shingles/Shakes	15-40
• Asphalt Composition Shingles	15-40
• Asphalt Driveways	8-12
• Baseboard Heating Systems	15-25
• Boilers, Hot-Water or Steam	25-35
• Brick and Concrete Patios	15-25
• Brick and Stone Walls	100+
• Built-Up Roofing, Asphalt	10-26
• Central Air-Conditioning Unit	12-15
• Concrete Block foundations	100+
• Concrete Walks	10-20
• Dishwashers	8-8
• Dryers	8-14
• Electric Ranges	14-18
• Electric Water Heaters	5-12
• Exhaust Fans	5-10
• Faucets	10-15
• Fences	10-15
• Floor Tile	30-40+
• Force-Air Furnaces, Heat Pumps	12-18
• Freezers, Standard	10-20
• Furnaces, Gas and Oil	15-20
• Garage Door Openers	8-12
• Garage Doors	20-25
• Garbage Disposals	8-10
• Gas Ovens	10-18

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• Gas Ranges	12-20
• Gas Water Heaters	6-12
• Gravel walk	4-6
• Gutters & Downspouts	25-30
• Furnace Heat Exchanger	10-15
• Humidifiers	5-7
• Microwave Ovens	9-13
• Poured Concrete Foundations	100+
• Pumps, Sump & Well	5-12
• Refrigerators	10-18
• Rooftop Air Conditioners	14-18
• Sheet Metal	20-50
• Siding, Aluminum	20-40
• Siding, Steel	30-50
• Siding, Vinyl	30-45
• Siding, Wood	12-100
• Sinks, China	15-20
• Sinks, Enamel-Coated Cast Iron	20-30
• Sinks, Enamel-Coated Steel	5-10
• Slate Roof Tiles	40-100
• Smoke Detectors	5-10
• Sprinkler Systems	10-14
• Stucco	20-40+
• Swimming Pools	10-20
• Termite-Proofing	5-7
• Trash Compactors	6-10
• Tile	30-40+
• Washers, Clothes	12-16
• Waste Piping, Cast-Iron	50-100
• Window A/C Units	5-8
• Wooden Decks	12-20

General Summary

Closer Look Home Inspectors, L.L.C.

Customer
Brian Dawson

Address
9483 Glenborough Drive
Elko New Market MN 55020

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roof

1.0 Asphalt Composition Shingle

Marginal

(3) At time of inspection, I observed shingle(s) at roof that were lifted in areas. This is a likely entrance point of water which can lead to further costly problems. I recommend further evaluation and correction as needed by a qualified roofing contractor.



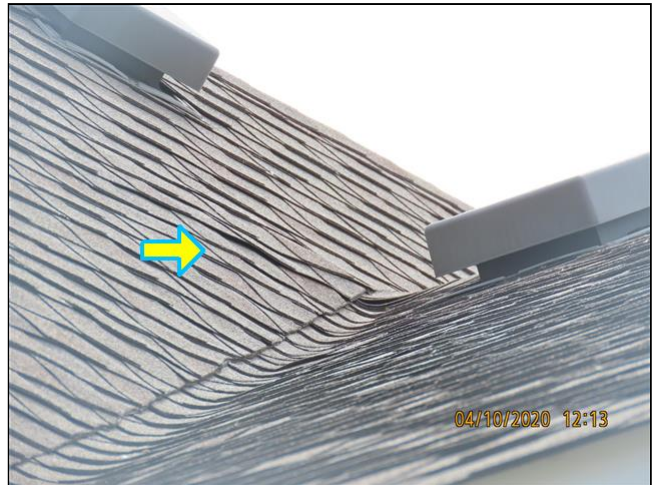
1.0 Item 4(Picture) lifted shingle, front of home



1.0 Item 5(Picture) lifted shingle, front of home



1.0 Item 6(Picture) lifted shingle, front of home



1.0 Item 7(Picture) lifted shingle, rear of home



1.0 Item 8(Picture) lifted flashing rear of home

2. Exterior

2.3 Exterior Trim, Soffits, and Fascia Marginal

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(2) Inspector observed what appeared to be a damaged or incorrectly installed trim piece at front of house. This condition may result in moisture entry towards the home. Recommended repair by a qualified person/contractor as needed.



2.3 Item 1(Picture) damaged flashing, front of home

2.8 Deck, Balcony, Porch or Carport

Marginal

The deck showed moderate to advanced wear-and-tear commensurate with age. You may wish to obtain a cost estimate for any and all repairs before the end of your inspection.

- Algae is an indication of high moisture levels. Reducing moisture may increase life span of wooden components.
- Item 2(Picture) Finish coating designed to protect the deck was not present. Failure to apply a finish coating will allow Ultra Violet (UV) radiation from sunlight, heat, moisture and freezing moisture to reduce the life span of bare wood exposed to weather.
- Item 3(Picture) - Wood rot observed in areas is indication that repair or replacement is needed in areas. Recommend further evaluation and correction as needed by a qualified contractor.
 - Maintenance performed on an appropriate schedule can significantly extend the life span of wood deck components



2.8 Item 1(Picture) rear of home



2.8 Item 2(Picture) rear of home



2.8 Item 3(Picture) rear of home

2.9 Door Exteriors

Unsatisfactory

(1) Replace weather stripping and door sweeps to increase energy efficiency, general maintenance item.

You should consider replacement or re-keying of locks for added security as desired.

(2) You may wish to obtain a cost estimate for the following before the end of your inspection deadline.

- Item 1(Picture) wood rot at exterior door(s), 4 locations.
- Item 2(Picture) advanced wood rot, hardware difficult to operate, door was difficult to operate, light moisture entry observed at interior of home near trim.



2.9 Item 1(Picture) rear of home, at deck



2.9 Item 2(Picture) rear of home, basement exterior door

3. Garage

3.1 Structural Walls - Interior & Exterior

Satisfactory, Not Visible

Areas of the garage were blocked by sellers personal belongings. I did not move or inspect behind objects. I recommend asking seller to move belonging and further inspect behind objects. We can return for an additional fee to re-inspect areas of the home that were restricted at time of inspection.

- Visible areas did not appear to have major cracking or displacement.

4. Interior

4.0 Smoke Detectors

Marginal

Be sure to check smoke alarms for proper function after moving in. You should check the detector indicator lights occasionally to be sure that each detector has power.

Inspector recommends a minimum of one (1) working smoke alarm located on each level of a dwelling as well as located in the vicinity of each sleeping room.

- The smoke detectors at interior of home were turning "yellow" in color. This indicates the smoke alarms are nearing the end of their life span. The inspector recommends before moving into replace smoke detectors for safety by a qualified person

4.4 Miscellaneous Components

Not Applicable

The home interior showed general to moderate wear and deterioration commensurate with its age. You should obtain cost estimates from qualified professionals for any and all repairs before the end of your inspection deadline.

4.8 Videos of Interior/Exterior

Not Applicable

Videos uploaded 4-11-2020 (it may up to 24 hours for viewing)

- https://youtu.be/3xt_-Q83PH4 (exterior of home)
- <https://youtu.be/Q9iZekZpp6w> (interior of home)

4.15 Central Vacuum System

Not Visible

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The home appeared to be equipped with a central vacuum system which lies beyond the scope of the General Home Inspection. The Inspector recommends having this system inspected by a qualified technician or professional as needed/desired before the expiration of your Inspection Objection Deadline.

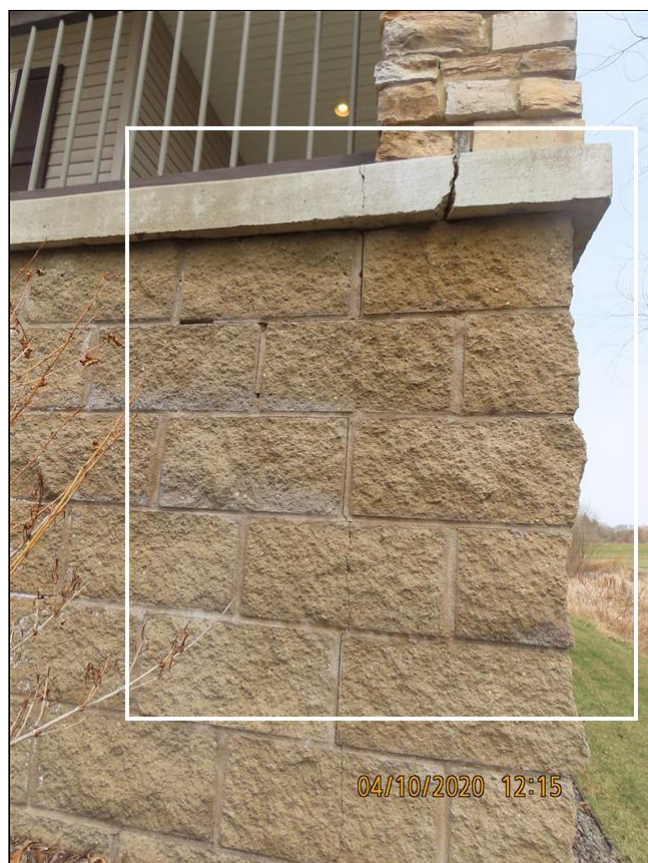
5. Structural Components

5.0 Exterior Wall Construction

Marginal

Inspector observed what appeared to be settlement/step cracking and missing mortar at the exterior stone wall. Front right corner of home, facing front.

- Determining exact cause and future settlement goes beyond the scope of a home inspection. Inspector recommends cracks be properly patched or sealed to reduce chance of freeze cracking. You may wish to obtain any cost estimates before the end of your inspection deadline.



5.0 Item 1(Picture) front right corner of home, facing front

6. Plumbing System

6.0 Exterior Plumbing Supply

Not Visible

No backflow anti-siphon device on exterior water spigot(s). Corrections needed by a qualified plumber. This is not a code inspection. You may wish to check with city code to determine if this update/modernization is required.

The exterior water spigot was not turned on at time of inspection, Which is not uncommon during Minnesota's winter months. Turning on this component goes beyond the scope of a home inspection. Recommend asking seller about this condition. A plumber should further evaluate and correct as needed.

6.3 Water Heater

Unsatisfactory

(2) The water heater was actively leaking at the TPR valve at time of inspection. Inspector observed moderate to advanced corrosion which is indication the water heater is at the end of its useful life span.

- Inspector recommends replacement of the water heater. You may wish to obtain a cost estimate before the end of your inspection deadline.



6.3 Item 2(Picture)

6.4 Sump Pump

Marginal

(2) Recommend the following corrections as needed by a qualified person or contractor.

- Item 1(Picture) Extension of the sump pump drain line needed to reduce chance of moisture near the foundation.
- The sump pump appears to be reliant on an extension cord. You may wish to have an electrician provide options and costs for corrections as needed.



6.4 Item 1(Picture)

6.5 Water Treatment Systems

Not Visible

We do not inspect water treatment systems or water softeners.

6.7 Sewage and DWV Systems

Not Visible

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Inspector strongly recommends before the end of your inspection deadline to have a qualified plumber provide a sewer scope of the homes waste system (from home to road) to ensure this system is in proper working order. This system was not inspected and inspector disclaims knowledge. You should ask your insurance agent for costs to ensure the sewer line. You may wish to have it scoped to ensure its condition before the end of your inspection deadline.

6.14 Misc. Conditions

Not Visible

Buried plumbing components and water irrigation systems go beyond the scope of a home inspection. You may wish to ask seller to disclose

6.16 Radon Mitigation System

Not Applicable

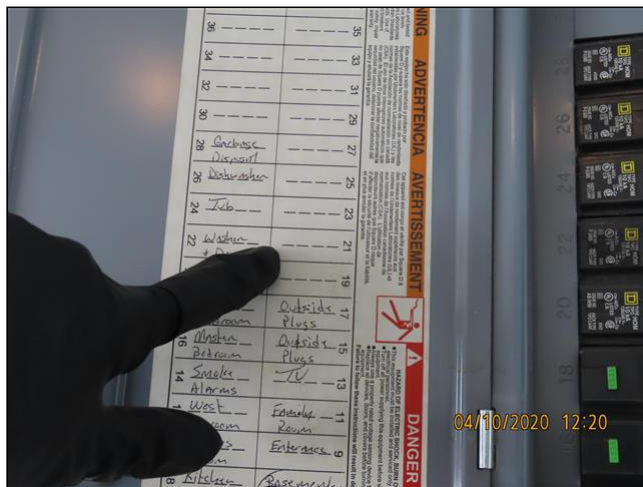
The home is located in an area known to produce radon. This home had no radon mitigation system installed. Radon is an odorless invisible radioactive gas which the EPA calls the second-leading cause of lung cancer in the U.S. The general area in which this home is located is known have potentially high levels of radon, although radon is very site-specific. Consider having a radon test performed to gain an understanding of average radon levels in the home. Measurement should be performed by qualified personnel familiar with radon testing protocols for real estate transactions.

7. Electrical System

7.0 General Electrical System Condition

Satisfactory

(2) The circuits for the main electrical panel legend in the home were not fully labeled during the inspection. Circuits which are not labeled may prevent the ability for proper operation including shut-off. As such the circuits should be identified and labeled within the panel legend.



7.0 Item 2(Picture)

7.3 Conventional Electrical Receptacles

Unsatisfactory

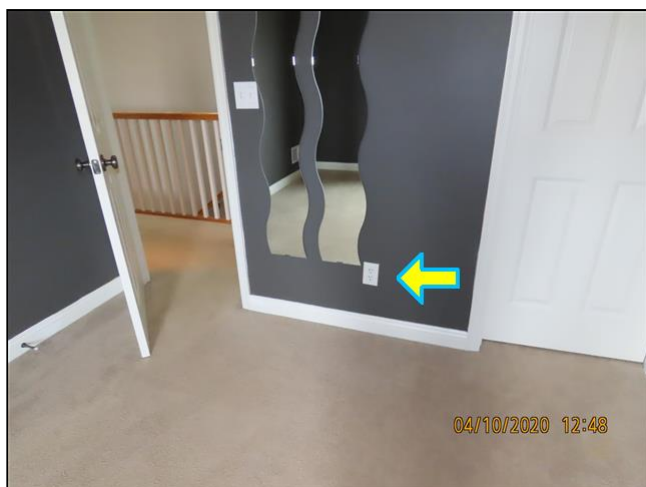
- Item 1(Picture) replace missing weather protected cover
- Item 2(Picture) - appears to have open/neutral
- Item 3(Picture) - upstairs bedroom electrical receptacle was loose, re-secure as needed.



7.3 Item 1(Picture) front of home, near main entry



7.3 Item 2(Picture) front entry porch



7.3 Item 3(Picture)

7.4 Lighting
Marginal

- An interior fan/light was loose or wobbled when in operation. This is a general maintenance item.
- Two light bulbs in the garage were not responding. If after the bulbs are replaced this light still fails to respond to the switch, a qualified electrical contractor should further evaluate and correct as needed to ensure proper conditions exist.



7.4 Item 1(Picture) garage

8. Heating & Air Conditioning

8.4 Fireplace

Not Visible

(2) The batteries for the fireplace were not installed or were not working at time of inspection. The fireplace was not fully inspected.

- The pilot light was ON at time of inspection.
- Recommend asking seller to disclose the condition of the fireplace
- Inspector recommends annual maintenance on the gas fireplace, as with any other gas appliance.



8.4 Item 1(Picture)

8.5 Central Air Conditioner

Not Visible

(2) The air-conditioning system was not tested because the outside temperature was below 67 degrees F. and to test it would risk damaging the coils. The Inspector recommends evaluation and service by a qualified HVAC technician to more accurately determine the AC's condition and ensure that it is in the best possible working condition on an annual basis.

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The Inspector recommends evaluation and service by a qualified HVAC technician to more accurately determine the AC's condition and ensure that it is in the best possible working condition on an annual basis. You may wish to have this component certified before the end of your inspection deadline.

(3) You may wish to consider purchasing a home warranty or obtaining information on long term service plans as desired.

9. Attic

9.0 Attic Access

Not Visible

The attic hatch was sealed at time of inspection. The roof framing was not inspected and the Inspector disclaims any responsibility for confirming its condition.

- The Inspector recommends having the attic area inspected by a qualified inspector after access has been provided, to help ensure that safe conditions exist.

9.1 Roof Framing

Not Visible

Roof framing not inspected. See item 9.0 for more information.

9.2 Roof Sheathing

Not Visible

Roof sheathing not inspected. See item 9.0 for more information.

9.3 Roof Structure Ventilation

Not Visible

The Inspector disclaims confirmation of adequate attic ventilation year-round performance, but will comment on the apparent adequacy of the system as experienced by the inspector on the day of the inspection. Attic ventilation is not an exact science and a standard ventilation approach that works well in one type of climate zone may not work well in another. The performance of a standard attic ventilation design system can vary even with different homesite locations and conditions or weather conditions within a single climate zone. The typical approach is to thermally isolate the attic space from the living space by installing some type of thermal insulation on the attic floor. Heat that is radiated into the attic from sunlight shining on the roof is then removed using devices that allow natural air movement to carry hot air to the home exterior. This reduces summer cooling costs and increases comfort levels, and can help prevent roof problems that can develop during the winter such as the forming of ice dams along the roof eaves. Natural air movement is introduced by providing air intake vents low in the attic space and exhaust vents high in the attic space. Thermal buoyancy (the tendency of hot air to rise) causes cool air to flow into the attic to replace hot air flowing out the exhaust vents. Conditions that block ventilation devices, or systems and devices that are poorly designed or installed can reduce the system performance.

9.9 Attic Thermal Envelope

Not Visible

Attic thermal envelope not inspected. See item 9.0 for more information.

11. Kitchen and Built-in Appliances

11.4 Dishwasher

Not Visible

In accordance with the Standards of Practice the dishwasher was not operated. The Inspector disclaims its proper operation. You should ask the seller about its condition.

- The dishwasher was in use at time of inspection (personal items inside). The dishwasher was not fully inspected.

12. Laundry Room

12.0 Washer and Dryer

Not Visible

The washer and dryer were installed at time of inspection. Full inspection of washer and dryer goes beyond the scope of a standard home inspection. You should ask your realtor about home warranties. Inspector disclaims knowledge of their condition(s).

- Personal items in washer/dryer restricted full inspection. You may wish to have seller disclose this information.

12.1 Receptacles, Switches, Connections

Not Visible

- The power source was not visible and was not inspected. Inspector is not able to determine source (gas or electric).
- The dryer vent was not visible and was not fully inspected.

Personal items in washer/dryer restricted full inspection. You may wish to have seller disclose this information.

12.2 Dryer Venting

Not Visible

A dryer vent connection was installed in the laundry room. Although the Inspector operated the dryer briefly, the dryer vent was examined visually only. A visual examination will not detect the presence of lint accumulated inside the vent, which is a potential fire hazard. The Inspector recommends that you have the dryer vent cleaned at the time of purchase and annually in the future to help ensure that safe conditions exist. Lint accumulation can occur even in approved, properly installed vents. All work should be performed by a qualified contractor.

- Debris observed from exterior of home at vent. Recommend cleaning after moving in.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Lisa Marie

INVOICE

Closer Look Home Inspectors, L.L.C.

Inspection Date: 4/10/2020

Inspected By: JANE DOE

Report ID:

9483-Glenborough-Drive

Customer Info:	Inspection Property:
JOHN DOE 9483 Glenborough Drive Elko New Market MN 55020 Customer's Real Estate Professional: JOHN DOE RE/MAX Advantage Plus - Lakeville	9483 Glenborough Drive Elko New Market MN 55020

Inspection Fee:

Service	Price	Amount	Sub-Total
Single Family Home Inspection		1	
			Tax \$0.00
			Total Price \$

Payment Method: Debit/Credit

Payment Status: Paid

Note: Thank you.

JOHN DOE

Property Address:
9483 Glenborough Drive
Elko New Market MN 55020

THIS AGREEMENT made on 4/10/2020 by and between VIP-PROS LLC. (Hereinafter "INSPECTOR") and the undersigned (hereinafter "CLIENT"), collectively referred to herein as "the parties." The Parties Understand and Voluntarily Agree as follows:

1. Fee for home inspection is \$
2. INSPECTOR agrees to perform a visual inspection of the home/building and to provide CLIENT with a written inspection report identifying the defects that INSPECTOR both observed and deemed material. INSPECTOR may offer comments as a courtesy, but these comments will not comprise the bargained-for report. The report is only supplementary to the seller's disclosure.
3. Unless otherwise inconsistent with this Agreement or not possible, INSPECTOR agrees to perform the inspection in accordance to the current Standards of Practice of the National Association of Certified Home Inspectors posted at <http://www.nachi.org/sop.htm>. CLIENT understands that these standards contain certain limitations, exceptions, and exclusions.
4. The inspection and report are performed and prepared for the use of CLIENT, who gives INSPECTOR permission to discuss observations with real estate agents, owners, repairpersons, and other interested parties. INSPECTOR accepts no responsibility for use or misinterpretation by third parties. INSPECTOR'S inspection of the property and the accompanying report are in no way intended to be a guarantee or warranty, express or implied, regarding the future use, operability, habitability or suitability of the home/building or its components. Any and all warranties, express or implied, including warranties of merchantability and fitness for a particular purpose, are expressly excluded by this Agreement.
5. INSPECTOR assumes no liability for the cost of repair or replacement of unreported defects or deficiencies either current or arising in the future. CLIENT acknowledges that the liability of INSPECTOR, its agents, employees, for claims or damages, costs of defense or suit, attorney's fees and expenses and payments arising out of or related to the INSPECTOR'S negligence or breach of any obligation under this Agreement, including errors and omissions in the inspection or the report, shall be limited to liquidated damages in an amount equal to the fee paid to the INSPECTOR, and this liability shall be exclusive. CLIENT waives any claim for consequential, exemplary, special or incidental damages or for the loss of the use of the home/building even if the CLIENT has been advised of the possibility of such damages. The parties acknowledge that the liquidated damages are not intended as a penalty but are intended (i) to reflect the fact that actual damages may be difficult and impractical to ascertain; (ii) to allocate risk among the INSPECTOR and CLIENT; and (iii) to enable the INSPECTOR to perform the inspection at the stated fee.
6. INSPECTOR does not perform engineering, architectural, plumbing, or any other job function requiring an occupational license in the jurisdiction where the inspection is taking place, unless the inspector holds a valid occupational license, in which case he/she may inform the CLIENT that he/she is so licensed, and is therefore qualified to go beyond this basic home inspection, and for additional fee, perform additional inspections beyond those within the scope of the basic home inspection. Any

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agreement for such additional inspections shall be in a separate writing or noted here:

7. In the event of a claim against INSPECTOR, CLIENT agrees to supply INSPECTOR with the following: (1) Written notification of adverse conditions within 14 days of discovery, and (2) Access to the premises. Failure to comply with the above conditions will release INSPECTOR and its agents from any and all obligations or liability of any kind.

8. The parties agree that any litigation arising out of this Agreement shall be filed only in the Court having jurisdiction in the County in which the INSPECTOR has its principal place of business. In the event that CLIENT fails to prove any adverse claims against INSPECTOR in a court of law, CLIENT agrees to pay all legal costs, expenses and fees of INSPECTOR in defending said claims.

9. If any court declares any provision of this Agreement invalid or unenforceable, the remaining provisions will remain in effect. This Agreement represents the entire agreement between the parties. All prior communications are merged into this Agreement, and there are no terms or conditions other than those set forth herein. No statement or promise of INSPECTOR or its agents shall be binding unless reduced to writing and signed by INSPECTOR. No change or modification shall be enforceable against any party unless such change or modification is in writing and signed by the parties. This Agreement shall be binding upon and enforceable by the parties and their heirs, executors, administrators, successors and assignees. CLIENT shall have no cause of action against INSPECTOR after one year from the date of the inspection.

10. Payment of the fee to INSPECTOR (less any deposit noted above) is due upon completion of the on-site inspection. The CLIENT agrees to pay all legal and time expenses incurred in collecting due payments, including attorney's fees, if any. If CLIENT is a corporation, LLC, or similar entity, the person signing this Agreement on behalf of such entity does personally guaranty payment of the fee by the entity.

11. HOLD HARMLESS AGREEMENT: CLIENT agrees to hold any and all real estate agents involved in the purchase of the property to be inspected harmless and keep them exonerated from all loss, damage, liability or expense occasioned or claims by reason of acts or neglects of the INSPECTOR or his employees or visitors or of independent contractors engaged or paid by INSPECTOR for the purpose of inspecting the subject home.

CLIENT HAS CAREFULLY READ THE FOREGOING, AGREES TO IT, AND ACKNOWLEDGES RECEIPT OF A COPY OF THIS AGREEMENT.

FOR INSPECTOR _____
CLIENT OR REPRESENTATIVE